

Design & Access Statement

Proposed Development of Sheltered (Retirement) Housing,
High Street, Portobello



McCarthy & Stone
The UK's leading retirement housebuilder



June 2015


McCarthy & Stone

 **THE PLANNING BUREAU LIMITED** 
Town Planners • Architects

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Introduction

McCarthy and Stone is acknowledged as the UK leader in the provision of specialised private retirement developments for the elderly, responsible for constructing over 1000 developments over the last 30 years, including their successful developments throughout Scotland. Each development is specifically designed for the location of the site and provides specialised accommodation and communal facilities to meet the particular needs of the elderly.

McCarthy and Stone developments enable older people to remain living in the community while enjoying peace of mind and companionship whilst receiving the support that they may need. The developments offer residents a safe and secure environment with all the benefits of maintaining their independence whilst retaining their home ownership.

It is proposed that the minimum age of the residents could be restricted by a Section 75 Agreement to 60 years of age (first resident, 55 for a spouse). Typically the average age of a resident, at date of entry to a McCarthy & Stone development in Scotland, is 75 years. As a result, McCarthy and Stone has its own strict criteria regarding the suitability of the location of any development with regards to public transport, shops and services.



More than 45,000 customers have chosen the McCarthy and Stone way of life. In addition to being Britain's leading private retirement provider McCarthy and Stone has gained a reputation as one of the premier house builders in the UK.

McCarthy and Stone has also been recognised as one of the best builders in recent customer satisfaction surveys. Polls of homebuyers by the House Builders Federation and the National House Builders Council revealed high levels of customer satisfaction amongst residents, placing McCarthy and Stone as one of Britain's top 5 star house builders.

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Site Location



Proposed Accommodation and Specification

- 42 Sheltered (Retirement) apartments (20 one bed and 22 two bed apartments).
- Communal facilities including a homeowners lounge and sun room with kitchens, roof terrace, reception area, guest suite for visiting friends and relatives, refuse room and house manager's office.
- A main door TV security system, burglar and fire detection system and 24hr 'Care-line' emergency call system.
- 32 car parking spaces, including 2 disabled spaces.
- A covered area to accommodate electric mobility scooters and bicycles.
- Landscaped gardens with external sitting areas.



Liberton Road, Edinburgh - Under Construction



Baberton Avenue, Juniper Green - Complete



Balcarres Street, Morningside - Under Construction



Queensferry Road, Barnton - Complete



Baileyfield Road, Portobello - Complete



Caiystane Court, Firrhill - Complete



Isla Road, Perth - Under Construction



Murrayfield Road, Edinburgh - Under Construction

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The Site and Surroundings

The site is ideally located for a private retirement development due to its close proximity to a wide variety of facilities, essential to help maintain an older persons independence and well-being. The nearby bus stops will provide residents access to both Portobello Town Centre and Edinburgh.

List of local amenities and facilities surrounding the site:

1. Leisure Facilities
2. Restaurant/Café/Bar
3. Convenience Store/Supermarket
4. Police/ Fire Station
5. Healthcare Provider: Opticians/Dentists
6. Bank
7. Post Office
8. Library
9. Hairdressers
10. Variety of shops

B Bus stops



Aerial view indicating local amenities

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Homeowners Lounge



Communal landscaped gardens



Shared laundry facilities



Local shopping



Development close to shops



Local walks and leisure facilities

Social Context

Maintaining independence is very important to the majority of elderly residents of private retirement developments. Due to the close proximity of the proposed development to local shops, transport and other amenities, the proposed residents would be able to satisfy most of their everyday needs. With less maintenance to worry about, the upkeep of their apartment would be kept to a minimum. The communal facilities within the development would also allow residents to socialise with people of similar age.

By downsizing and moving into a McCarthy and Stone retirement development, elderly people would potentially free up a substantial amount of housing stock within the area. This can then be used by families, young couples and first time buyers seeking to enter the housing market. This would effectively make better use of the existing housing stock.

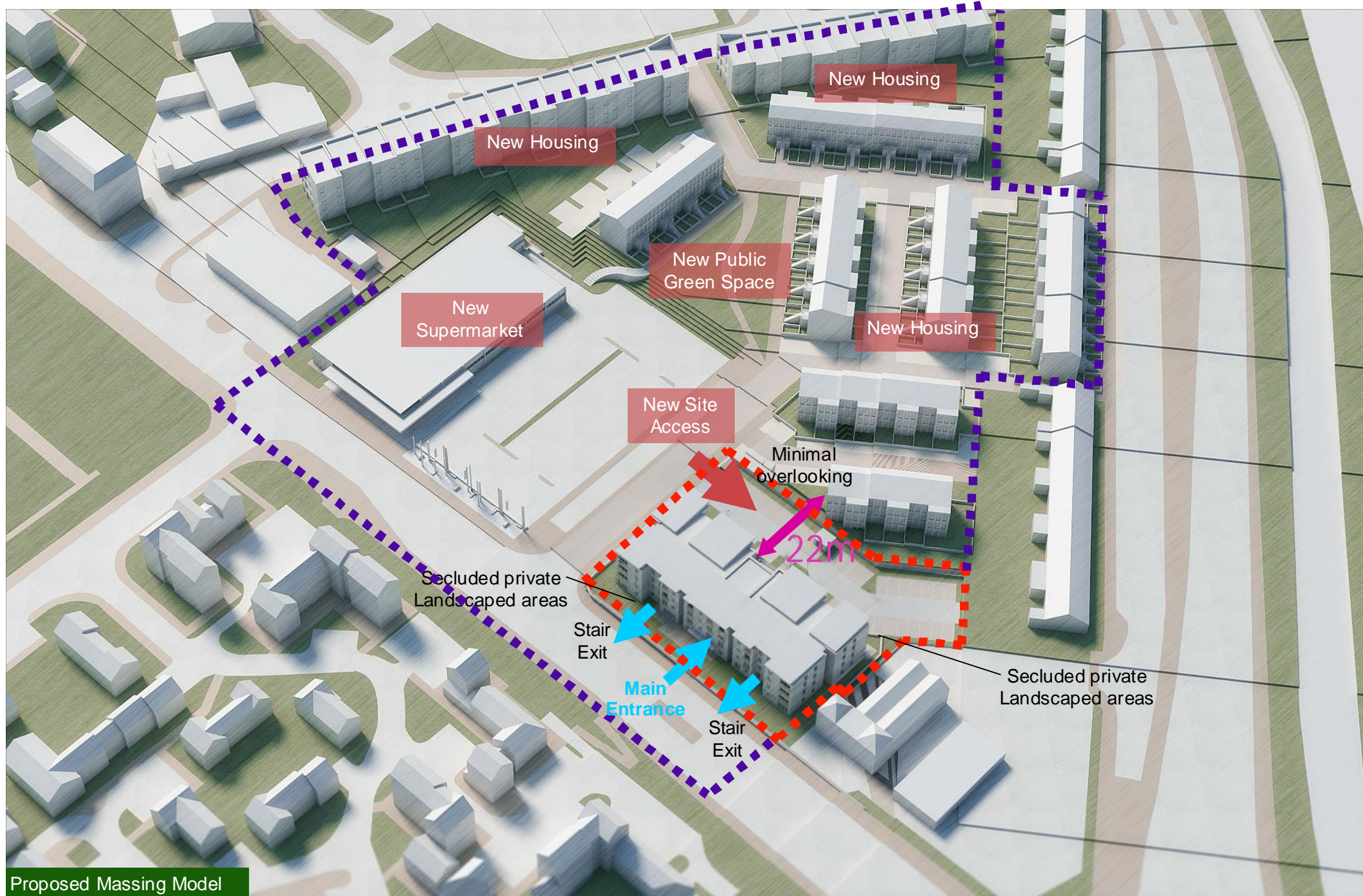
Economic Context

Private retirement developments play a vital part in the life of local communities. The proposed site is located within easy walking distance of local shops and facilities, and patronage to these would contribute significantly to the revenue including, providing additional expenditure within the local community, shops and businesses.

The survey 'A Better Life: Private Sheltered Housing and Independent Living for Older People' states that over sixty percent of residents prefer to shop locally and just over a third do so on a daily basis. Just under half of all residents buy most of their shopping within one mile of their development. Local businesses will therefore benefit significantly from a new private retirement development.



Location Plan



Proposed Massing Model

Proposed Development

The design concept from the outset has been to provide a prestigious contemporary building set in attractive landscaped gardens which will have minimal impact on adjacent properties and the townscape of Portobello High Street.

The building is positioned along the existing strong build line of High Street. Due to the irregular shape of the site the vehicular and pedestrian access is taken from the minor access road to the east of the site, with the car parking located to the rear of the site.

The form of development and detailed design has evolved from careful consideration of its contextual analysis. The proposed development will respect the character and the appearance of the locality, as well as compliment the developing master plan strategy.

The surveys masterplan proposals were consulted in the early design stage to identify the position of existing and proposed adjacent properties to ensure that overlooking issues could be minimised.

The main entrance and stair exits face onto High Street. The secondary entrance along with a south facing landscaped sitting area are to the rear of the property, facing south.

Proposed Development

The elevation treatment to the front & rear elevations has been developed following a long consultation exercise with both the Planning Department and the local community. Red Brick has chosen as the main elevation material, taking influence from the buildings in the immediate vicinity, and historical reference from the wider Portobello area. Blue/Grey brick, and off-white render have been introduced to smaller areas of the external façade to break up the red brick, and accent the building's external modelling, whilst at the same time giving presence to the building in it's setting within this newly redeveloped area of Portobello.

The overall massing of the building follows the proposals approved under the Planning permission in Principle consent (Ref: 14/03736/PPP). The building has been located within the site to have the main elevation address Portobello High Street, with both the main entrance, and stair exits providing access directly to High Street. This location also minimises any overlooking onto the housing to the side & rear. The communal facilities are accessed centrally, from these access & egress points, and provide access from the High street elevation through the building to both the landscaped gardens and parking court to the rear, and the communal sun room at third floor level. The sun room on the top floor, opens onto a recessed top floor terrace, which while reducing the massing of the development, offers improved daylighting into the amenity areas.



Proposed Front (North East) Elevation to High Street - looking towards entrance of development



Proposed Rear (South West) Elevation - looking towards landscaped amenity area and roof terrace



Proposed Side (North West) Elevation - looking south down High Street



Proposed Side (South East) Elevation - looking north up High Street



Third Floor Plan



Second Floor Plan



First Floor Plan



Ground Floor Plan

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Site Plan - Internal Circulation Diagram

Legend

- Apartments
- Refuse Room
- Lift
- Guest Suite
- Fire Escape Stairs
- Homeowners Lounge

Sun Room and Terrace



Third Floor Plan

Internal Circulation

The success of McCarthy and Stone Retirement Housing is dependent upon a range of specific requirements which have evolved as a result of years of experience gained by McCarthy and Stone in the provision of this form of specialised housing. These requirements relate to the locations of the development, the layout of the site, internal accommodation and the age and health of the residents. These requirements have a significant bearing on the overall design of their proposed developments, particularly with respect to the movement around the site and within the building.

Each development comprises one and two bedroom private apartments specifically designed for the elderly, plus communal facilities including a Homeowners Lounge with kitchen, guest suite for visiting relatives, laundry and refuse room. There is also a communal sun room and roof terrace on the third floor (inset). The apartments are accessed off a central corridor with stairs and a lift serving each floor.

This development further benefits from an external landscaped sitting area. These facilities help to create a sense of community within the development.

The building layout, and centralised location of the communal facilities reduces the distance between the apartments and the central core of the building where the lift, communal lounge and main entrance are located. An internal communal refuse room is also provided within the building to allow residents to deposit refuse without leaving the building. The refuse room is located close to the new access road to provide easy access for refuse uplift.

Red Facing Brick



Blue/Grey Facing Brick



Off-White Render



Zinc Butterfly Roof



Prefabricated Steel balconies with glass



Grey UPV C Windows & Doors



Artist's Impression: View from High Street, looking North West towards the entrance of development.

Proposed Materials

Particular care has been taken in the choice of external materials in accord with the buildings contemporary appearance.

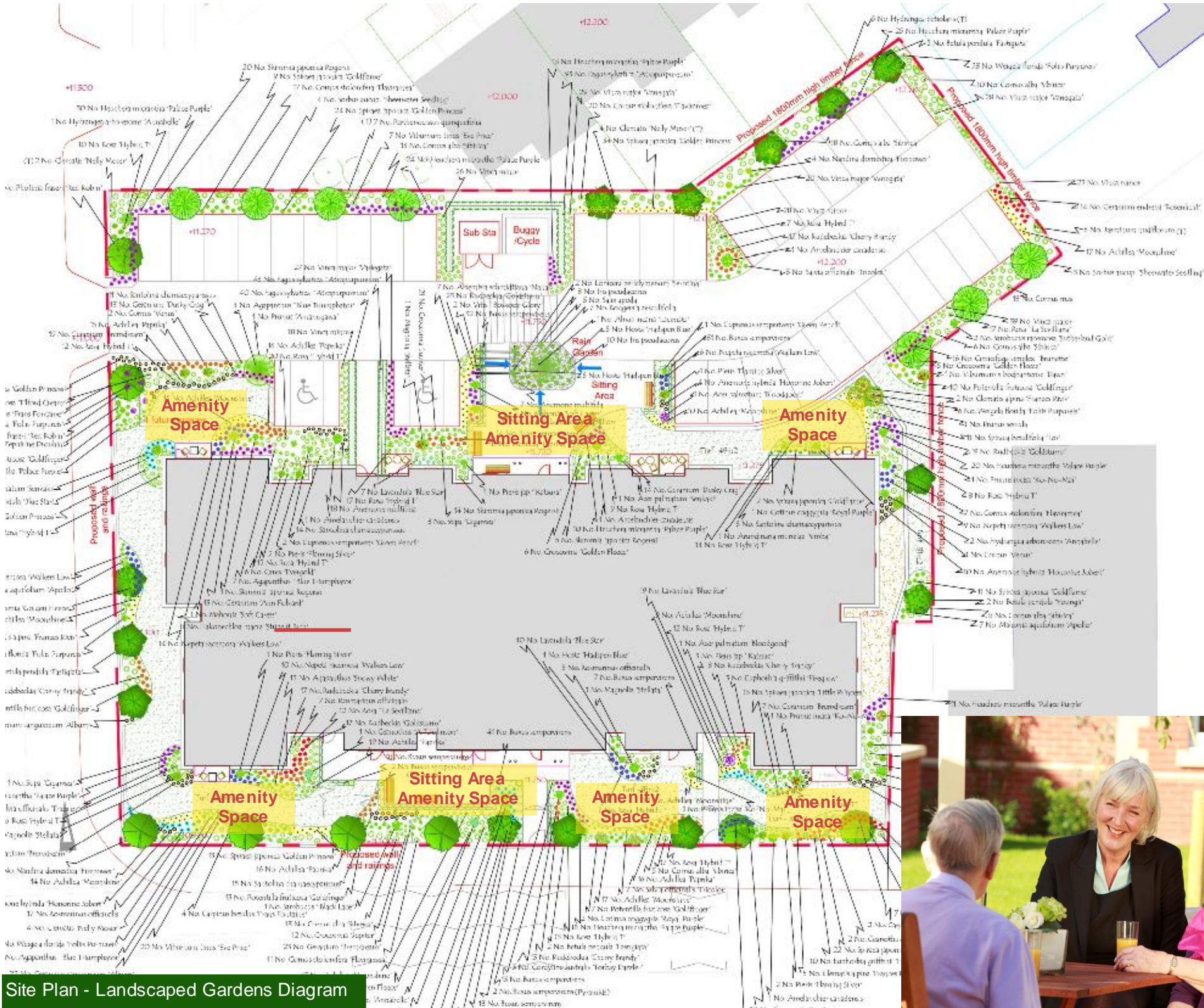
The existing buildings around the site use a wide variation of external finish materials. The residential area opposite the site use a mixture of red/brown & cream render, and red roof tiles. Areas of sandstone, and grey slate roofs are in use on the traditional buildings situated on the corner of Seafield Road, and King's Road, and are more prominent further towards the town centre.

The existing building on the site, which is being demolished, is red facing brick, as is the adjacent power The properties to the rear (west) of the proposed site are mainly off-white render, drydash finished walls, with grey and brown concrete roof tiles.

The proposed design incorporates a mix of buff cast stone and off-white render. This creates depth to the facades and increases the visual impact of the bay projections. The use of horizontal timber cladding helps to soften the building and sympathetically reflect the setting of mature trees surrounding the buildings. Creating a shallow pitched roof hidden by a zinc parapet helps to reduce the issues of overshadowing and lessens the impact of the building when viewed from outwith the site.

Landscaping and Amenity

McCarthy & Stone, as the recognised market leader in the provision of retirement housing for the elderly, has considerable experience in providing for the passive recreational needs of the elderly. The Company employs professional, qualified Landscape Architects to prepare the landscape proposals for their developments and pride themselves on the high quality of their landscaping. In designing retirement housing for the elderly it is more important for an apartment to enjoy an interesting view rather than to set aside large open areas for active recreational needs. Often units located off the street frontage or overlooking the main entrance to the development are preferred by the residents to those facing onto landscaped amenity areas. The most important amenity space is generally not outside the building, but the resident's communal areas including the Homeowners Lounge.



Site Plan - Landscaped Gardens Diagram



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External Lighting

High quality street and garden lighting is provided in all McCarthy and Stone developments to provide a secure external environment and for ease of circulation throughout the site. Details of the proposed external lighting are outlined within the planning application drawings.

Emergency Call System

The development will be fitted with an emergency call system which will be linked to the House Managers handset and the national monitoring centre which serves all McCarthy and Stone developments. Call points will be located in all units and communal areas throughout the development.

Fire Strategy

The development will be fitted with a fire alarm system with smoke detectors located in each apartment and throughout the development. All apartment front doors have a 30min fire resistance and residents are encouraged to stay in their homes until they are told to move out by the house manager or fire officer in the event of a fire (stay put policy).

When appropriate, the residents would be guided towards the car park area, which is the safest place for eventual evacuation from the building.

A comprehensive fire exit strategy will also be drawn up by McCarthy and Stone Management Services to inform residents on the best exit routes in the event of a fire. Fire exit signs will also be specified and placed in appropriate locations.

Building and Management Programme

It is in the interest of McCarthy and Stone to complete their projects in a timely and efficient manner working closely with the community. McCarthy and Stone has developed an excellent reputation for their high quality developments throughout the UK. It is anticipated that the development will take approximately 12 months to build.

Following completion McCarthy and Stone will manage and maintain the development to the benefit of residents and the local community.



Introduction

McCarthy and Stone takes a holistic approach to sustainability considering not only environmental, but also social and economic sustainability when designing private sheltered developments.

Sustainability Reputation

In light of the increasing urgency to address climate change and the depletion of non-renewable fossil fuels and materials resources, McCarthy and Stone set up a 'Sustainability Committee' in 2001, whose remit is to look beyond the pure environmental issues and be responsible for integrating holistic sustainable strategies into the business' decision making process. A member of the company's executive board chairs the Client's Sustainability Committee. The committee is continuously reviewing and strengthening the company's sustainability performance and credibility through strong corporate governance and the incorporation of sustainable strategies in company policies.

McCarthy & Stone's corporate governance policies and strategy are disclosed on its website. The policies on this website are complemented by the company's Corporate Social Responsibility (CSR) report which details the company's social, economic and environmental sustainability.

Sustainability Strategy for the Proposed Development

Building construction and the use of buildings, especially their space heating, is one of the main contributors to CO2 emissions in the UK. Energy conservation, introduction of sustainable transport strategies and incorporation of energy efficient strategies are some ways of playing a part in reaching the targets set for CO2 emissions reductions set in the Kyoto agreement and reducing other adverse impacts on the environment.

This project aims to contribute to this in the following ways:

Sustainability Strategies in Land Procurement

- McCarthy & Stone has an exemplary land procurement strategy, which aims to support the government's drive to rejuvenate and redevelop brownfield and underused 'surplus to use' sites. Their Land department select sites which, by the very nature of their location, encourage social inclusion and participation.

Land Remediation

- The proposal aims to rejuvenate and redevelop this land with an appropriate and sustainable development of its time. This will not only help to minimise development of greenfield land, but will also help to safeguard high quality agricultural land from development within the immediate and wider area.
- The use of this land for redevelopment is also in accordance with planning policy.

Layout, Orientation, Form and Micro-Climatic Factors

- The majority of the units in the proposal have a single aspect disposition on either side off a central corridor, for efficiency of plan form. This also helps reduce the extent of circulation space required per apartment thus maximising development potential and avoiding wasteful use of space and building resources.
- The form of the building has also largely been dictated by the shape and topography of the site, McCarthy & Stone's functional requirements; site analysis, contextual analysis, historical context and the constraints and opportunities are identified in the planning application documents accompanying this application.



Energy Efficiency

- Each separate habitable room within the units of the proposed development will be designed with independent thermal controls as standard.
- External lighting will be linked to daylight sensors.
- All the spaces within each flat will be lit by low energy light fittings.
- A Pulsa Coil hot water heating system will be specified for each apartment. This system is material, maintenance and energy efficient. This system also reduces standing heat loss.
- Good Thermal performance will be achieved further by the use of Low-e solar controlled double glazing with enhanced thermal insulation.
- All electrical appliances will be A-rated. Advice on these white goods will be passed onto the homeowners in a handover pack. An energy saving advice leaflet will also be passed on to the homeowners.
- Thermal insulation and ventilation will be designed into the building envelope using a specification to achieve a good SAP rating in compliance with the current Building Regulations. Combined with a good standard of air tightness, this will help to conserve the fuel used to power the building.

Site Location and Amenities

- The site is located within close proximity of local shops, services and amenities. This proximity helps to reduce dependence on the private car, thereby reducing pollution from NOx gases and greenhouse gas emissions. The proximity will also help to encourage social inclusion and enable the proposed residents to participate in the local community.

Land Use

- The proposed development is located on developable land. The use of such land for redevelopment is in accordance with planning policy.

Density Development and Diversity

- The location of the site presents an opportunity to optimise the density of development in accordance with planning policy. The aim of planning guidance with regards to density, is to reduce pressure on the development of useful greenfield land thereby conserving natural ecology and habitats - a sustainable strategy.

Socio - Economic Impact

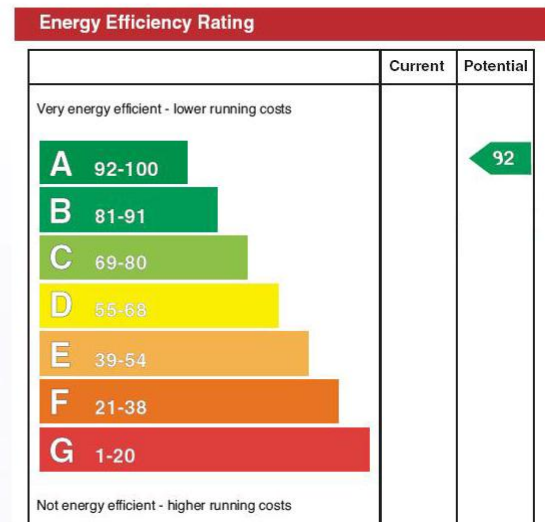
- The location and the nature of the proposed development will help to improve the social and economic sustainability of the local area.

Compact Form and Embodied Energy

- The general use of single aspect units will help to make efficient use of the circulation space by allowing the placement of units on either side of the corridor. This will effectively reduce the embodied energy (the non-renewable energy consumed in the acquisition of raw materials, their processing, manufacture, transportation to site and the construction process) due to the reduction in materials used as compared to the dual aspect apartments.
- The single aspect units linked with a corridor also help to reduce floor area which effectively reduce the amount of space heating energy required to heat the proposed building. The single aspect also helps reduce the amount of heat loss through the building fabric when compared to dual aspect apartments.
- The development will benefit from reduced maintenance costs in comparison to that which would have been needed if the same number of units were detached houses. Consequently the compact form will increase the whole life value and reduce the life cycle energy use of the proposal.

HCFC (Hydro Chloro Fluoro Carbons) Emissions

- HCFC's (ozone depleting substances) within the building will be reduced and where possible will not be included in the specification. The standard specification already includes zero ozone depleting insulation types such as Rockwool mineral fibre for roofs, Pulsa Coil for the hot water tank and Armaflex for the pipe work.



Simple heating controls for residents.

Transport

- The proximity of this proposal to local amenities is vital to the reduction of car dependency. A 'Green Transport Plan' will be prepared for the future residents in order to inform them of local transport services. Advice will also be included in this explaining how to access national transport services. This effectively reduces vehicular fuel consumption and the associated air pollution.
- There will also be provision made for the recharging of electric buggy's, which are increasingly used by older people.

Durability and Flexibility

- The internal space within the units is adaptable, i.e the studwork partitions are demountable, which means that the units can easily be altered in the future if required.

Disability Access

- The proposal is designed to allow for ease of access and movement for people with disabilities.

Waste Management and Recycling

- The proposed development will include communal refuse and recycling facilities within the building.
- In addition, McCarthy & Stone encourages suppliers to reduce surplus packing for materials, fixtures/fittings and seek to minimise the number and effect of deliveries.
- Wherever feasible, natural raw materials and products will be used in the construction process. Any packaging such as MDF, wood or plastic wrapping will be reused to protect fragile building elements during the building process such as metallic sinks, porcelain products etc.

Social Needs

- A handover pack will be given to future residents, providing information about their new home including the 'Green Transport Plan', advice on the energy efficient appliances installed in their homes, addresses and contact numbers for essential local services, clubs and organisations.
- The development has been designed to prevent crime as far as possible. This will be reinforced during the specification stage prior to construction, as is the case with all McCarthy & Stone's new developments.

Environmental Sustainability

- McCarthy & Stone will issue Best Practice Guidelines to site staff on minimising and managing waste, together with a system for assessing our waste. Contractors will also emphasise environmental issues as well as regulatory, performance and cost aspects.
- Pre-fabricated concrete products and mortar silos will be used to further reduce site water use.

Social Sustainability

- McCarthy & Stone aims to be a good neighbour during the construction process and have a Considerate Construction Policy. This involves minimising noise at unsociable hours and a constant focus on site presentation. The Site Manager, Banksman and the Contracts Manager for McCarthy & Stone will be in liaison with the neighbours to ensure that any issues during the construction phase are addressed.
- Site operatives will be given a health and safety induction before starting construction on site, with many of McCarthy & Stone's site operatives completing a health and safety course to obtain their CSCS cards (a card to certify H&S competence to enter building sites).
- McCarthy & Stone has a Health and Safety Policy that ensures issues are addressed on a regular basis at all levels, and have signed up to Homes for Scotland Health and Safety Charter which promotes industry wide improvement. Health and Safety issues are on the agenda at all Board meetings.
- To promote greater management accountability and year on year improvement in health and safety performance, a system of internal fines has been introduced on all of McCarthy and Stone Construction sites.

Economic Sustainability

- The emphasis on local sourcing of effective contractors and subcontractors who can deliver their services to the construction site on time provides an opportunity for McCarthy & Stone to contribute to the economic viability of the local and surrounding area.

Water Economy

- 6/4 litre dual flush WC system will be used in all apartments.
- Palsa Coil hot water heating units will be located close to the taps in the units in the majority of cases minimising the amount of energy and water wasted through running the hot water tap before the hot water is provided.

Materials

- All timber to be used in the building will be sourced from renewable sources with FSC certificates or other industry acknowledged timber certifying schemes.
- Nearest cut lengths will be specified for timber so as to minimise waste.
- Concrete floor slabs, concrete stairs and roof trusses will be constructed off site.



Summary of Overall Benefits of the Proposed Development

- A highly sustainable form of development that reuses valuable urban land effectively and efficiently.
- Provides much needed specialised retirement housing for local people in a central location close to shops, services and public transport.
- Developing a currently unused site that is surplus to the requirements of a local hotel.
- Support for the local economy.
- Release of family sized homes in the area onto the local housing market.
- Attractive design which complements the surrounding townscape and conservation area.
- Low levels of traffic generation and car ownership compared to other uses.
- Considered to be a 'good neighbour' development.
- Private retirement accommodation entails no cost to the public purse.
- The development would be maintained to a high standard by McCarthy and Stone on behalf of the residents, safeguarding the interest of the residents, neighbouring property owners and the local community.



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Drawing List - Drawings submitted for Planning Application

- SC-2050-03-AC-001 - Artists Impression (Sheet 1 of 3)
- SC-2050-03-AC-002 - Artists Impression (Sheet 2 of 3)
- SC-2050-03-AC-003 - Artists Impression (Sheet 3 of 3)
- SC-2050-03-AC-004 - Site Layout Plan with Ground Floor Plan
- SC-2050-03-AC-005 - Upper Floor Plans
- SC-2050-03-AC-006 - Location Plan
- SC-2050-03-AC-007 - Topographical Survey
- SC-2050-03-AC-080 - Elevations (Sheet 1 of 2)
- SC-2050-03-AC-081 - Elevations (Sheet 2 of 2)
- SC-2050-03-AC-085 - Proposed Materials
- SC-2050-03-LA-001 - Soft Landscaping
- 2050 - External Lighting Specification
- 2050 - Hard Landscape Specification
- 2050 - Planning Statement

